



COMPLETION OF 5-YEAR CAPITAL IMPROVEMENT PLAN

An aerial photograph of a residential development. The image shows several long, rectangular, two-story brick buildings arranged in a somewhat irregular pattern. These buildings are interspersed with green spaces, trees, and winding paths. The surrounding area appears to be a mix of residential and possibly commercial or institutional buildings, with more traditional houses visible in the background. The overall impression is of a planned community with a focus on greenery and unique building layouts.

History of Existing Development

- **Post-Vietnam war construction for veterans**
- **Constructed with time constraints & budget limitations**
- **Construction configuration is not standard industry type**



Completed Capital Improvement Work

- **FACADES**
- **STORM SYSTEM + PAVEMENT @ PARKING LOT B/W BLDG. 7 & 8**
- **ROOFING SYSTEM AT SELECTED LOCATIONS**

CAPITAL IMPROVEMENT PROGRAM (C.I.P.)

A need of the asset

LESSON LEARNT FROM **WALL COLLAPSE OF 87-22 TO 32 MARENGO STREET**

- **Financial Damage**
- Emergency Job
- DOB Violations/ Penalties
- Increase in Insurance Premiums

CONSTANT MAINTENANCE OF ASSET IS ASSET MANAGEMENT

**SETTING-UP A C.I.P.
PROGRAM**

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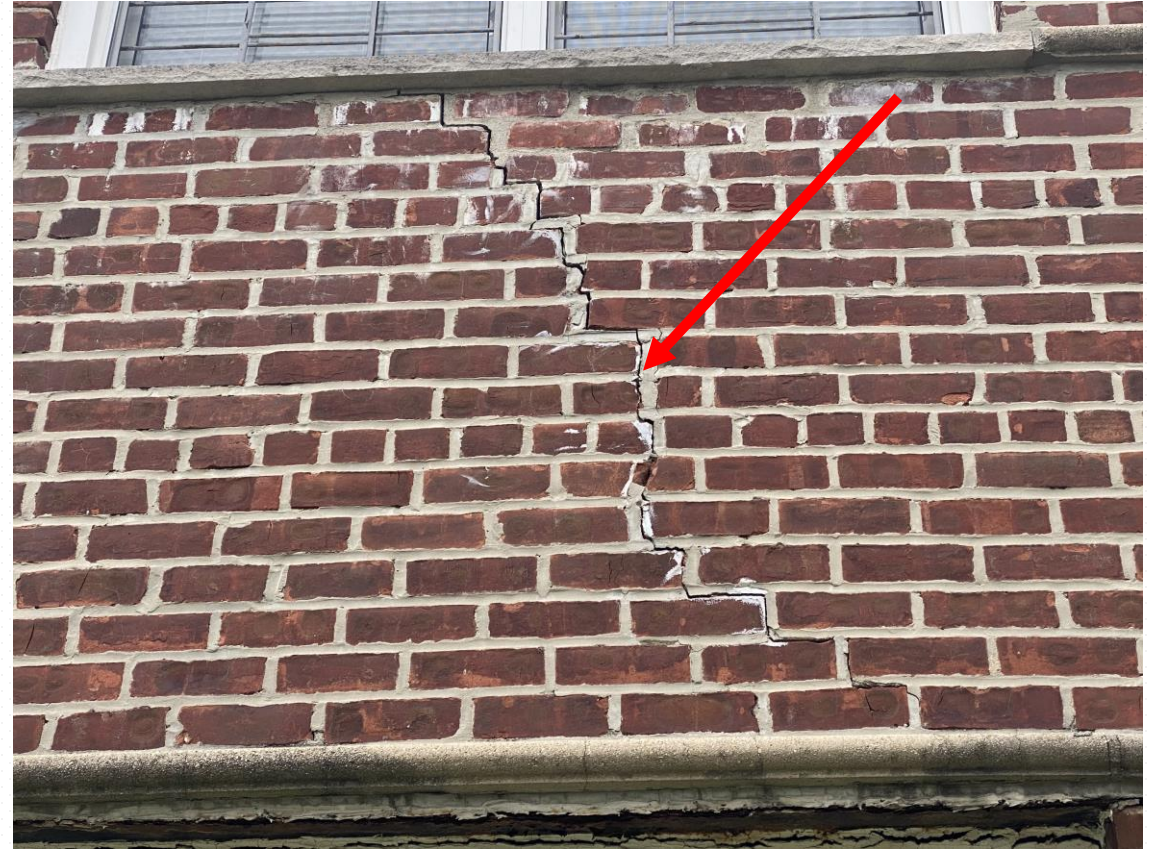
- *Increases Value & Demand*
- *Avoids Unplanned Emergency Repair Expense*
- *Increases Life of Asset*
- *Improves Well-being of users*

*Investing on the improvement of Asset = **WORTH***

EXISTING CONDITION OF PROPERTY



EXISTING CONDITION OF PROPERTY



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EXISTING CONDITION OF PROPERTY



EXISTING CONDITION OF PROPERTY



PHASING OF COMPLETED WORK:

- **PHASE -1: UNPLANNED COLLAPSE OF WALL AT 87-22 TO 32 MARENGO STREET**
- **PHASE -2: RESTORATION OF 39 FACADES – Structurally unstable condition**
- **PHASE -3: RESTORATION OF REAR WALL OF BUILDING No. 8 – Structurally unstable condition**
- **PHASE -4: FACADES AT MULTIPLE LOCATIONS
STRUCTURAL RESTORATION OF FOUNDATION WALLS
FOUNDATION WALL WATERPROOFING AT MULTIPLE LOCATIONS**
- **PHASE -5: FACADES LOCALIZED RESTORATION AT MULTIPLE LOCATIONS
STORM & PAVEMENT SYSTEM
ROOFS**

..... **COMPLETION OF 5-YEAR C.I.P. PLAN**

PHASE -1:

UNPLANNED COLLAPSE OF WALL AT 87-22 TO 32 MARENGO STREET



AFTER



BEFORE

PHASE -1:

UNPLANNED COLLAPSE OF WALL AT 87-22 TO 32 MARENGO STREET



AFTER



BEFORE

PHASE -2:

RESTORATION OF 39 STRUCTURALLY UNSTABLE FACADES



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BEFORE

PHASE -2:

RESTORATION OF 39 STRUCTURALLY UNSTABLE FACADES



AFTER



BEFORE

PHASE -3:

RESTORATION OF REAR WALL OF BUILDING No. 8



PHASE -3:

RESTORATION OF REAR WALL OF BUILDING No. 8



DURING RENOVATION



DURING RENOVATION

PHASE -3:

RESTORATION OF REAR WALL OF BUILDING No. 8



DURING RENOVATION



DURING RENOVATION

PHASE -3:

RESTORATION OF REAR WALL OF BUILDING No. 8



DURING RENOVATION



DURING RENOVATION

PHASE -3:

RESTORATION OF REAR WALL OF BUILDING No. 8



BEFORE



DURING RENOVATION

PHASE -3:

RESTORATION OF REAR WALL OF BUILDING No. 8



AFTER RENOVATION



AFTER RENOVATION

PHASE -3: RESTORATION OF REAR WALL OF BUILDING No. 8



Temporary Parking Designed for Garage Users



DURING RENOVATION

BUILDING-1

PHASE-4



DURING RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION

BUILDING-1

PHASE-4



DURING RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION



DURING RENOVATION

BUILDING-1

PHASE-4

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION

BUILDING-2

PHASE-4



DURING RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION

BUILDING-4

PHASE-4



DURING RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION



AFTER RENOVATION

BUILDING-4

PHASE-4

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION



AFTER RENOVATION

**BUILDING-
5 & 6**

PHASE-4

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION

PHASE-4

BUILDING-6



DURING RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION

BUILDING-6

PHASE-4



DURING RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION

PHASE-4

BUILDING-6



DURING RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



AFTER RENOVATION

PHASE-4

BUILDING-6



AFTER RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION

PHASE-4

BUILDING-7



DURING RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION

BUILDING-7

PHASE-4



AFTER RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



AFTER RENOVATION

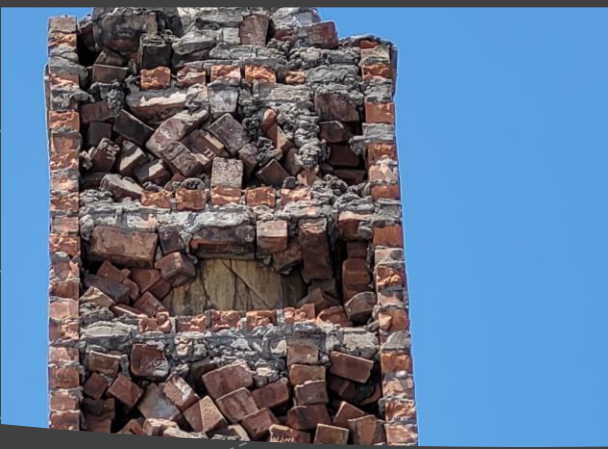
BUILDING-1

PHASE-4



AFTER RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION



DURING RENOVATION

BUILDING-8

PHASE-4

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**



DURING RENOVATION



DURING RENOVATION

BUILDING-8

PHASE-4

FOUNDATION WALL WATERPROOFING



DURING RENOVATION



DURING RENOVATION

BUILDING-8

PHASE-4

**STRUCTURAL RESTORATION OF
FOUNDATION WALL**



DURING RENOVATION

BUILDING-8

PHASE-4



AFTER RENOVATION

**FACADE WORK UNDER CIP AT
MULTIPLE BUILDINGS**

PHASE-5 (C.I.P.)

FACADES:

**STRUCTURAL STABILITY AND
THERMAL & MOISTURE
PROTECTION**

STORM & PAVEMENT:

**WATER PONDING &
VEHICULAR RIDE ISSUE**

ROOFS:

**WATER INFILTRATION
ISSUE**











Photo-1:
Building No. 1: 196-03 Dunton Avenue.
General view of Apartment's wall where restoration work was performed.



Photo-3:
Building No. 1: 196-15 Dunton Avenue.
General view of Apartment's wall where restoration work was performed.

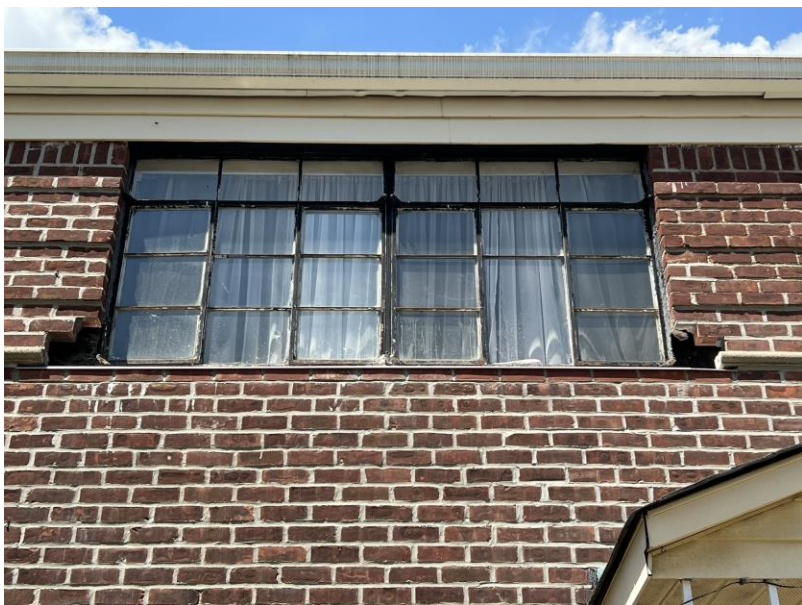


Photo-2:
Building No. 1: 196-03 Dunton Avenue.
Close-up view of properly installed windowsill.



Photo-4:
Building No. 1: 196-15 Dunton Avenue.
Close-up view of properly installed windowsill.













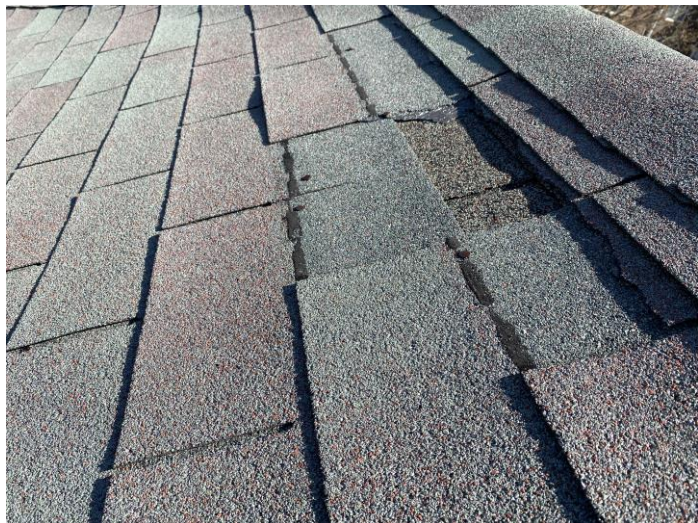
ROOFING

FLAT ROOFS:

- Architectural roofing Shingles.

SLOPED ROOFS:

- Modified Bitumen type roofing System (MBS).







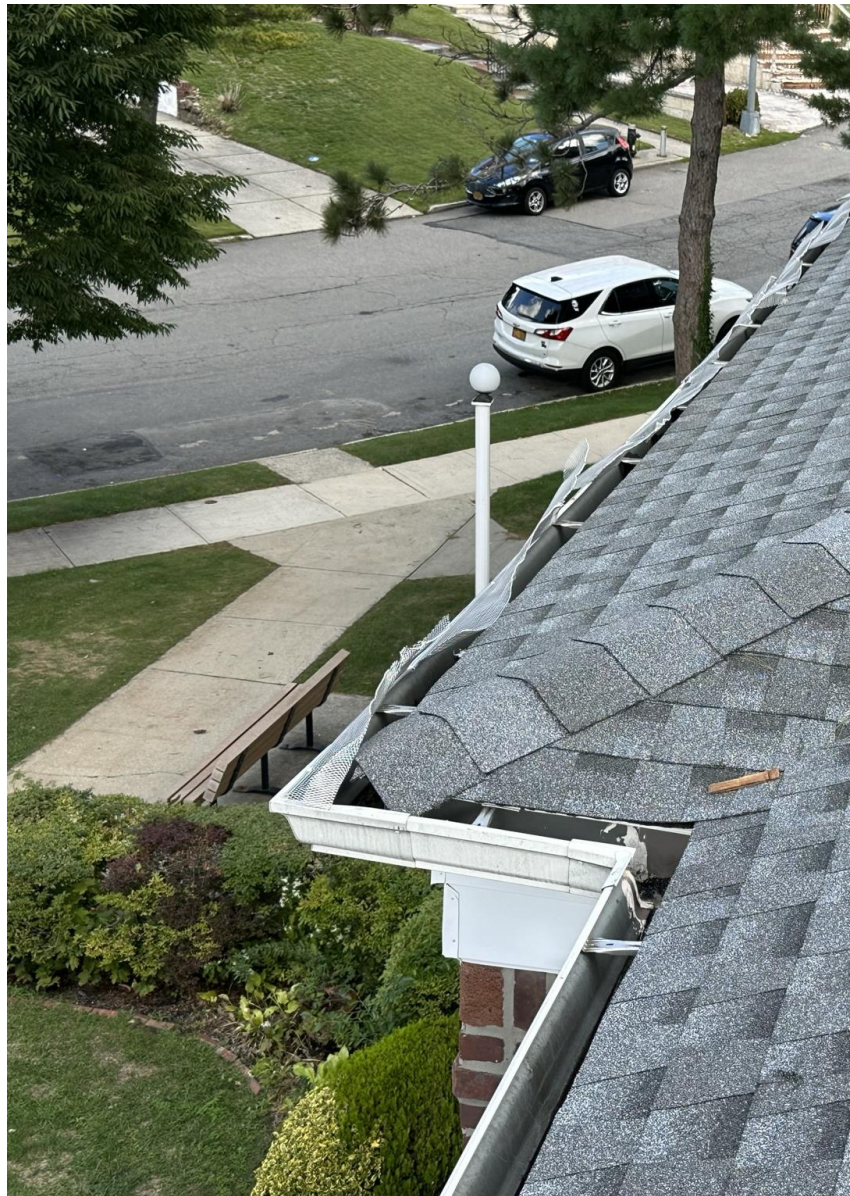


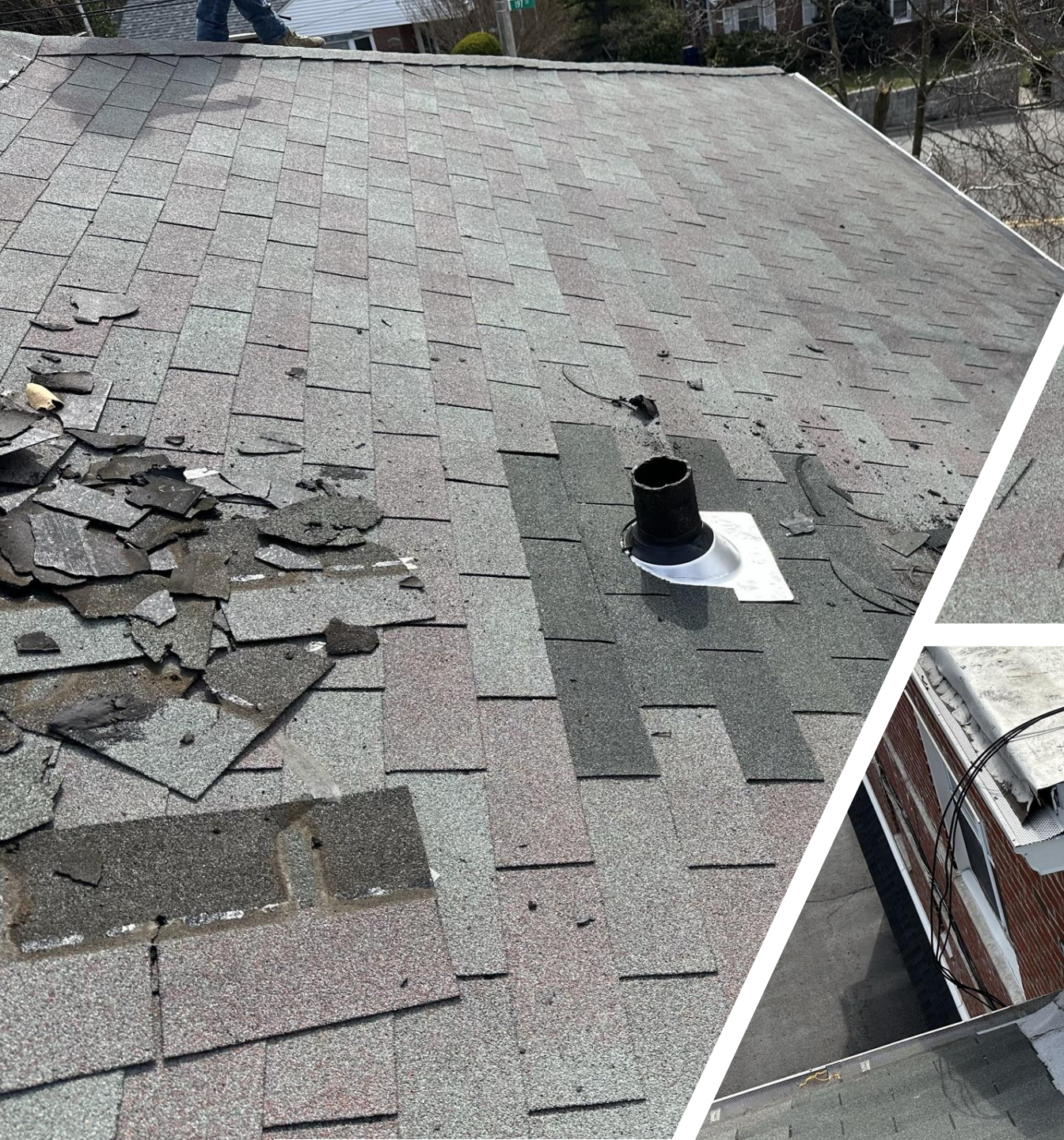




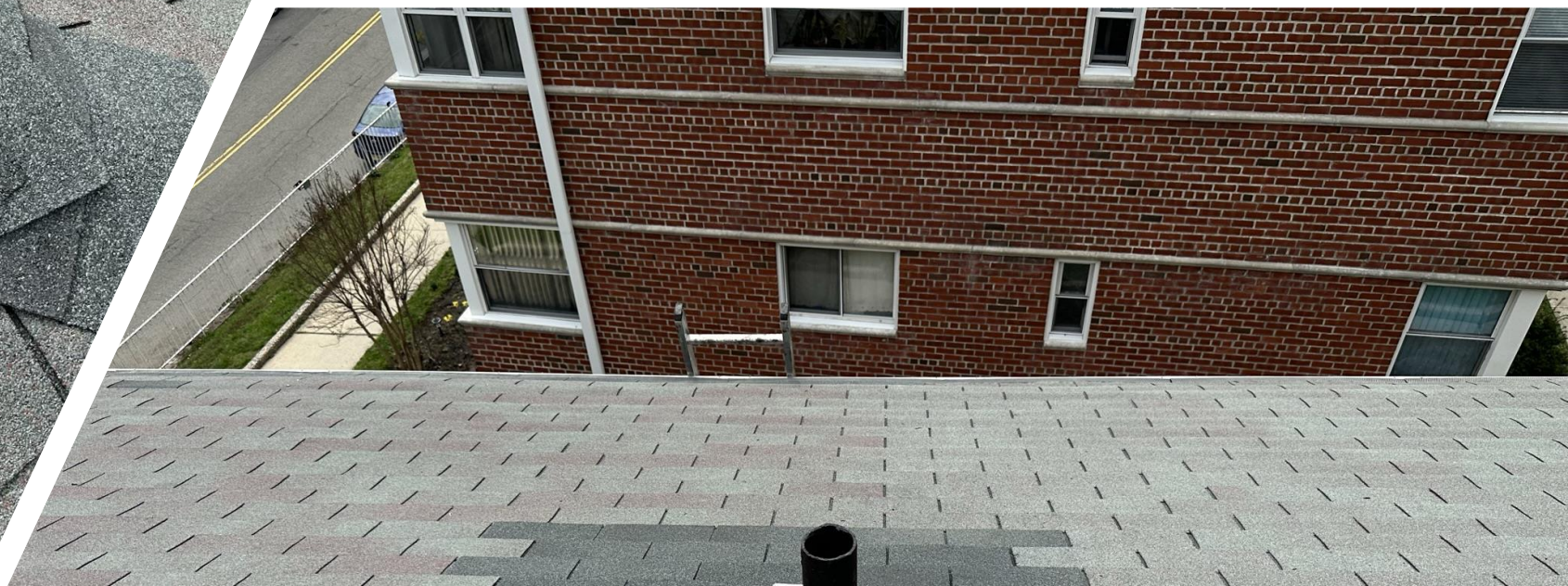


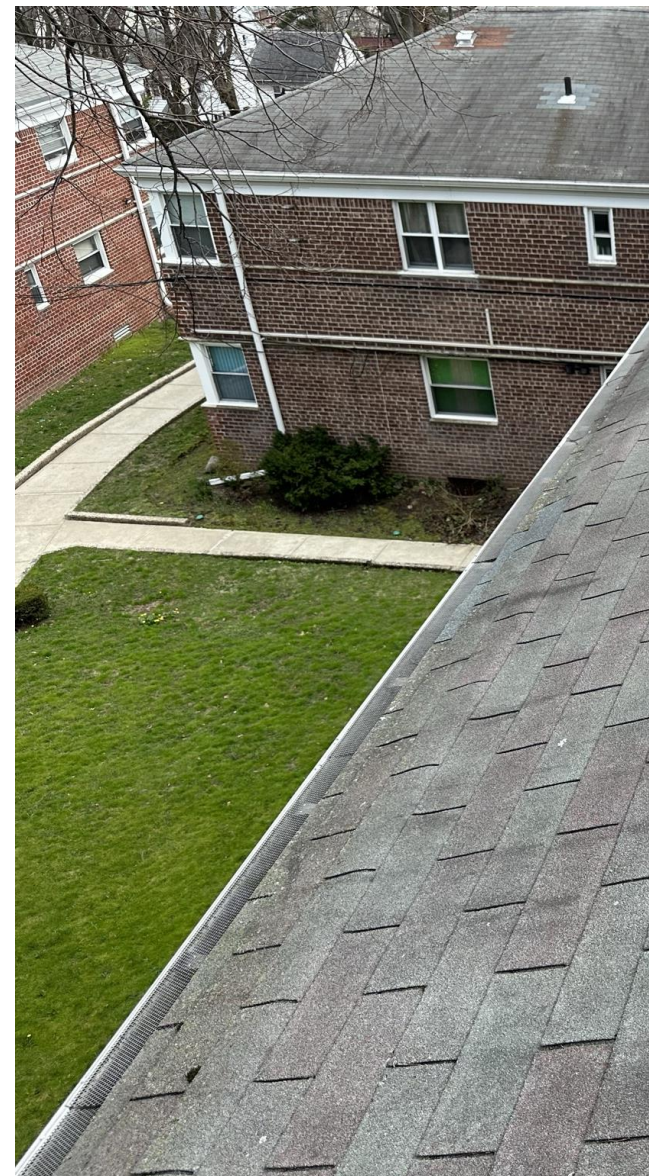
















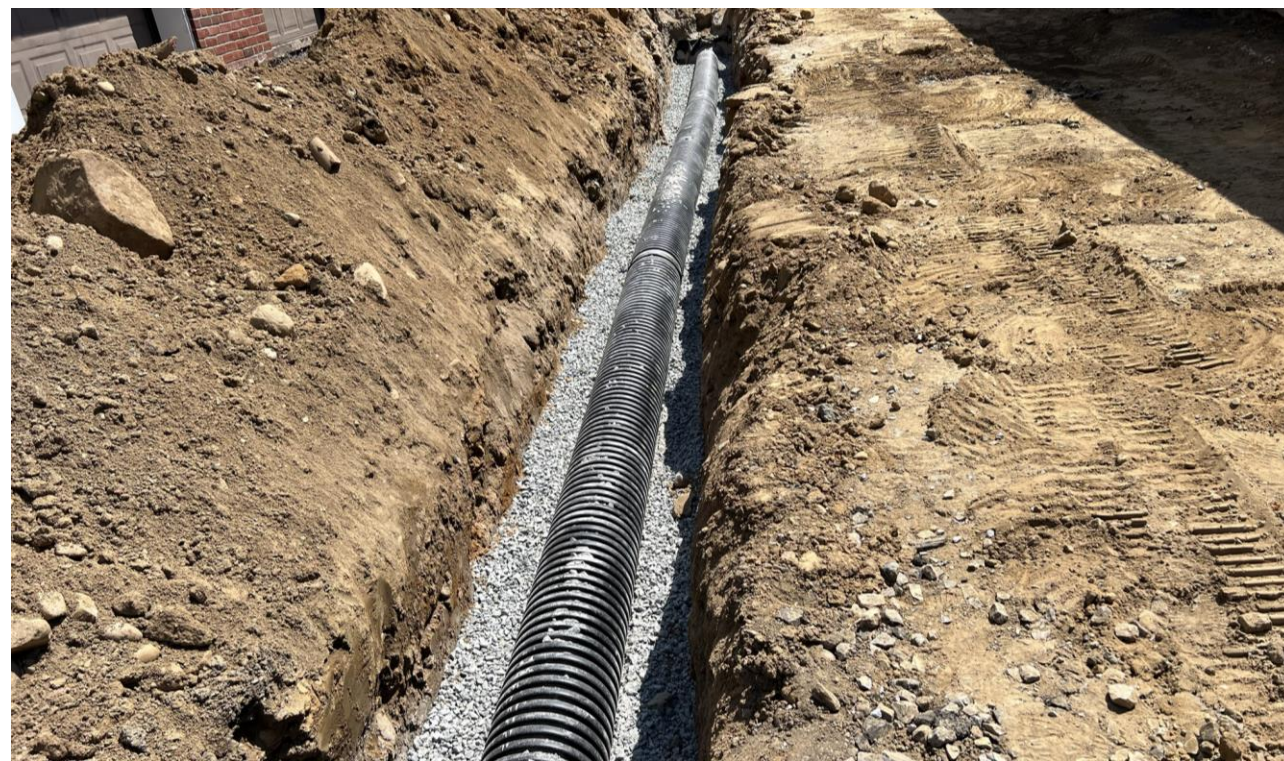
STORM & PAVEMENT: WATER PONDING AND
VEHICULAR RIDE ISSUE



STORM &
PAVEMENT:
WATER
PONDING AND
VEHICULAR
RIDE ISSUE











North Side of Parking Lot



AFTER RESTORATION

South Side of Parking Lot



AFTER RESTORATION

South Side of Parking Lot



AFTER RESTORATION



POST CONSTRUCTION ADJUSTMENTS

Relocation of Roof Leaders to Balance out
the Storm Runoff Load Distribution



POST CONSTRUCTION ADJUSTMENTS

Relocation of Roof Leaders to Balance out
the Storm Runoff Load Distribution

ACCOMPLISHMENTS



**WORK PROGRESS WITHIN
SCHEDULE**



**CONTINUOUS ENGINEERING
MONITORING OF PROPERTY –
NO MORE UN-EXPECTED COLLAPSE**



**NO FURTHER VIOLATIONS/FINES
FROM DOB TILL DATE**

WHAT'S NEXT!

- **5-YEAR ASSESSED SAFETY TIMELINE IS ENDING ON 11/19/2024**
- **A NEW ASSESSMENT IS DUE IN JANUARY 2025**
- **EXISTING OLD STEEL BAR WINDOWS HAVE COMPLETED BEYOND THEIR USEFUL LIFE AND CAUSING WATER INFILTRATION ISSUES – TIME TO PLAN FOR A REPLACEMENT**
- **BY ASSESSMENT & MAINTENANCE: KEEP PROPERTY SAFE, IN-COMPLIANCE WITH CODES, MAINTAIN/ INCREASE VALUE OF ASSET, AND AVOID POTENTIAL NYC DOB FINES & VIOLATIONS.**

